

ADDENDUM#1
(March 29,2022)

Bid NO: 2022-03-09

TOWNSHIP OF PISCATAWAY: “2022-STERLING VILLAGE INTERIOR RENOVATIONS PHASE-3”

Bidder’s Electronic Question Due Date: APRIL 4, 2022 @12NOON

Official Addenda Process: **APRIL 12, 2022.**

Purchasing@piscatawaynj.org

PRE-BID Conference / Site Visit Date: MARCH 29, 2022 @2PM @ 1 STERLING VILLAGE DRIVE, PISCATAWAY NJ 088854

Bid Submission Due Date: THURSDAY, APRIL 21, 2022 @2PM

Bidders must call the purchasing office at 732-562-2321 to drop off the sealed bid. The Municipal building is closed to the public due to the Covid-19.

PLEASE, DROP OFF YOUR SEALED BID BY OR BEFORE 12NOON ON 4/21/2022.

BIDS WILL BE OPENED VIA ZOOM @2PM

Bid Opening via ZOOM: Instructions below:

During the Covid-19 pandemic, while the statewide “State of Emergency” declaration is still in effect in according with Executive Order 107 all proposal packets will only be read and opened electronically “BROADCAST LIVE” via ZOOM Bid opening. The Municipal building is closed due to the Covid-19 restrictions. Once the bid opening is concluded bidders must call the Purchasing Agent @ 732-562-2321 to set an appointment if bidders wishes to review any of the bids.

All bids shall be kept sealed , and will be received and publicly opened on the proposal opening date and time in the Township Council Chambers using Virtual teleconferencing which can be access by logging in to zoom in the following manner:

Join Zoom Meeting

Piscataway Purchasing is inviting you to a scheduled Zoom meeting.

Topic: BID OPENING: 2022-STERLING VILLAGE INTERIOR RENOVATIONS
PHASE-3

Time: Apr 21, 2022 02:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/84653904059?pwd=YjVjWXhLd1V4c1dvR2I5QWVuaEk2QT09>

Meeting ID: 846 5390 4059

Passcode: 685893

One tap mobile

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QUESTIONS

ANSWERS

**PISC-00250 Sterling Village Phase- 3 Interior Renovations
Bidding Requests for Information - Responses**

March 22, 2022

Questions Submitted March 17, 2022 (RFI#1)

1. Plan A-500 is referring to A-800 for millwork details. However, A-800 is not included.
[Replace A-800 with A401 for millwork.](#)
2. Likewise, A-500, tile notes are referring to A-900 but A-900 is not there.
[Replace A900 with A500 for Transition details.](#)
3. Bid document have \$50,000/- allowance for existing equipment. Please clarify, what equipment?
[This is a miscellaneous work allowance to be used if and where directed by the Township. This does not apply to any specific piece\(s\) of equipment.](#)
4. As per architectural plans, all ceiling will be existing but in electrical plans ceiling cutting is required to run new wires for heater/fan.
[Provide new wiring as indicated on plans. The structure is hollow-core concrete planks. Wiring to be run in walls and through cores of the planks.](#)
5. Please clarify, if apartment under the working apartment is vacant to perform shower drain work?
[The apartment under the working apartment is not vacant.](#)
6. Please also clarify, if the contractor will be responsible to cut and patch 4th floor apartment's ceiling and wall?
[Yes, the contractor is responsible for all cutting and patching associated with this work.](#)
7. Specification has laminate millwork. Please clarify, cabinets are laminated or solid wood?
[Material shall be wood veneer. See revised sheet A-401 and A-500, which have been updated to reflect the correct material.](#)
8. Please provide mounting bracket detail for drawer collar, next to the kitchen sink.
[We are not aware of what a "Drawer Collar" is referring to, please provide additional details so we may properly respond.](#)

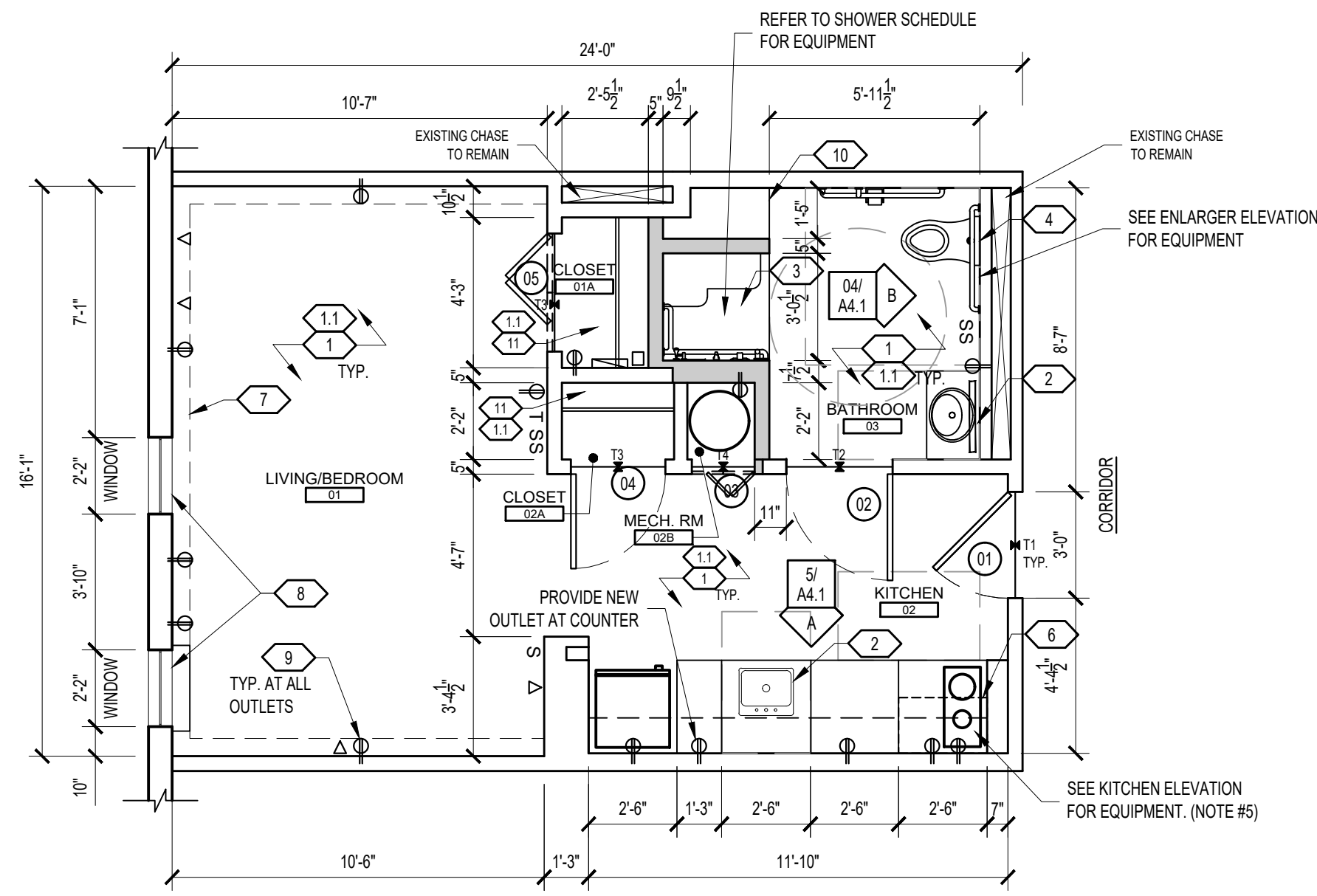
Questions Submitted March 21, 2022 (RFI#2)

1. In demo plan, no wall demo is indicated to install blocking for ADA grab bars. Please provide clarification if we have to provide blocking for ADA grab bars?
[Isolated demolition and patching required.](#)
2. In wall type 1a, tile backer board is required. Please clarify if we are installing tile backer board on existing GWB at full height of wall or at half wall?
[Tile Backer Board required at half wall height per enlarged bathroom elevation.](#)
3. To install ADA kitchen cabinets and ADA wall mounted sink, do we need to cut and patch the wall to install brackets and blocking?
[Isolated demolition and patching required.](#)
4. Please provide make and model of ADA shower seat, if seat is required?
[Seat required, provide Hewi 801 Series #980.20.699 in white.](#)
5. Please clarify if new shelves are required in closet 01A and 02A or just new rods are required?
[Provide new wood shelf at 48" above finished floor\(max\).](#)
6. Please provide elevation/detail of open shelf in Bathroom for shelf's depth and support type?
[Shelves are to be 24" O.C per note, width and height are to be verified in field are approximately 1'-5" x 8'-0". Will need to be confirmed once walls and ceilings are finished. Provide 1x2 brackets on sides and rear to support shelves.](#)

PLUMBING FIXTURE/ACCESSORY SCHEDULE		
(A)	LAVATORY	CORIAN ELEMENTS 810P ADA COMPLIANT - COLOR: WHITE
(B)	WATER CLOSET	KOHLER BARRINGTON K-3578-RA - COLOR: WHITE
(C)	42" GRAB BAR	BRADLEY #8122-00142
(C.1)	36" GRAB BAR	BRADLEY #8122-00136
(C.2)	18" GRAB BAR (VERTICAL OR HORIZONTAL)	BRADLEY #8122-00118
(D)	FLAT MIRROR ABOVE VANITY	EXTRUDED ALUMINUM TOP AND BOTTOM TRACK
(E)	ELECTRIC WATER HEATER	WATER HEATER TO BE REINSTALLED ON NEW SHELF
(F)	TOILET TISSUE DISPENSER	KOHLER ALTEO K-37054-BN (BRUSHED NICKEL)
(G)	ROBE HOOK	KOHLER ALTEO K-37055-BN (BRUSHED NICKEL)
(H)	UNDERLAVATORY GUARD	PLUMBERX HANDY-SHIELD MAXX
(J)	TOWEL RING	KOHLER ALTEO K-37057-BN (BRUSHED NICKEL)
(K)	KITCHEN SINK	CORIAN ELEMENTS 5610 ADA COMPLIANT - COLOR: TBD

KITCHEN EQUIPMENT		
(M)	SUMMIT CREKZB 2 BURNER RADIANT COOKTOP	COLOR: BLACK CERAMIC GLASS COOK TOP (DEDICATED CIRCUIT)
(N)	GE PEST2272DLWW 2.2 CU FT MICROWAVE	COLOR: WHITE (PROVIDE DEDICATED CIRCUIT) COUNTER TOP UNIT
(P)	GE G1ET6T6HWW REFRIGERATOR w/ TOP FREEZER 30"	COLOR: WHITE (PROVIDE DEDICATED CIRCUIT)
(Q)	GE JNV5300JWW NON VENTED RANGE HOOD 30"	COLOR: WHITE (PROVIDE CIRCUIT) CONTROL GE #JUXRC70
(R)	1/2" SOLID SURFACE BACKSPALASH	BACKSPALASH TO BE FULL HEIGHT AT COOKING AREA

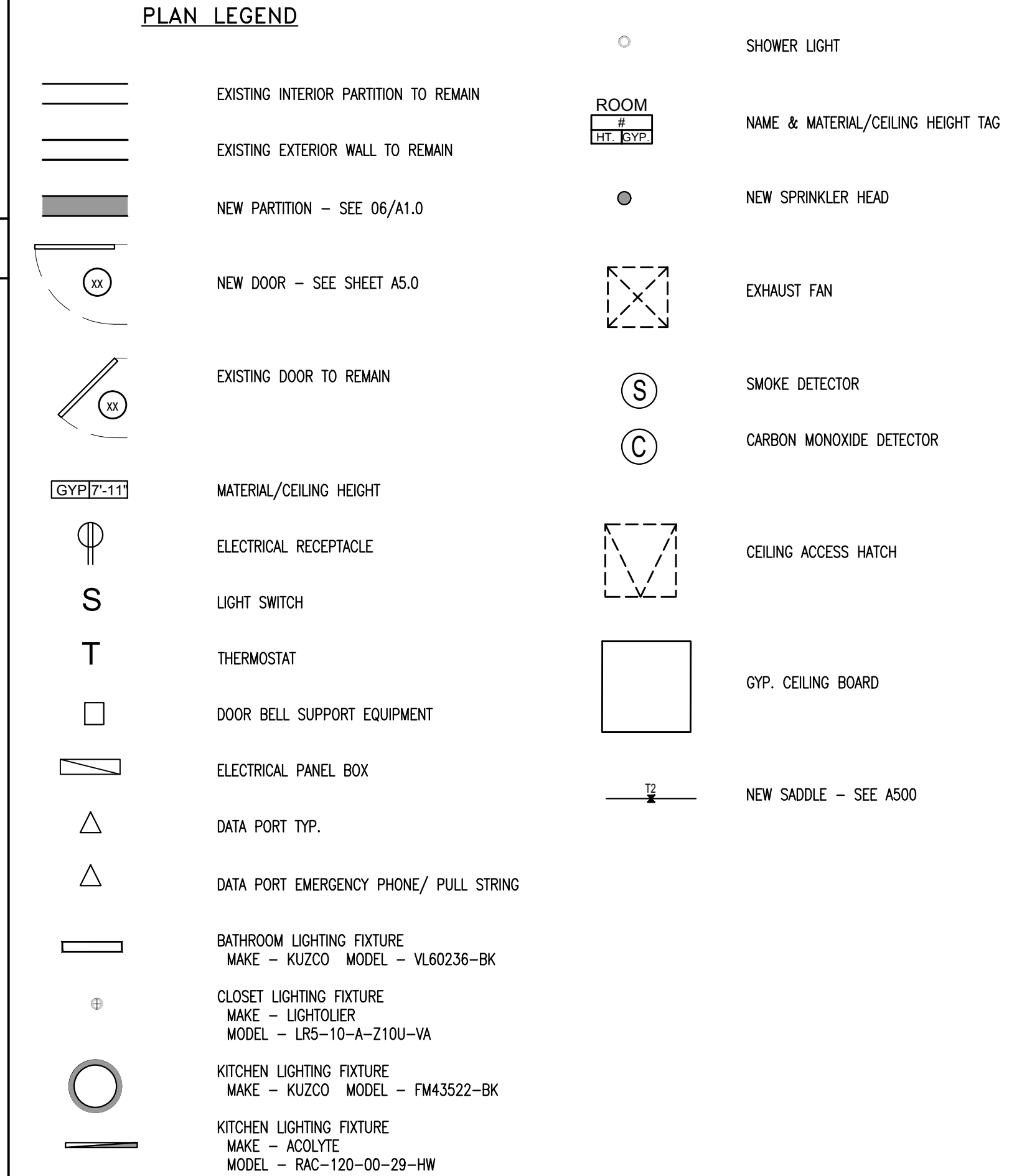
SHOWER ACCESSORY SCHEDULE				
ID	DESCRIPTION	VENDOR	MODEL	COMMENTS
-	ADA SHOWER PAN	INPRO	TRANSFER 36" X 36"	
-	SHOWER WALL FRP PANELS	INPRO	BIOPRISM 36"X36"	STYLE SUBWAY TILE
-	CURTAIN ROD	BOBRICK	B-6107 X 36	INCLUDE STAINLESS STEEL SLIDES-204-1
-	SHOWER CURTAIN	BOBRICK	204-2, 42" X 72"	
-	SHELF/TOWEL BAR	BOBRICK	B-676 X 24	
-	SHOWER FIXTURE	LITELINE	SLM74-6W-MME	



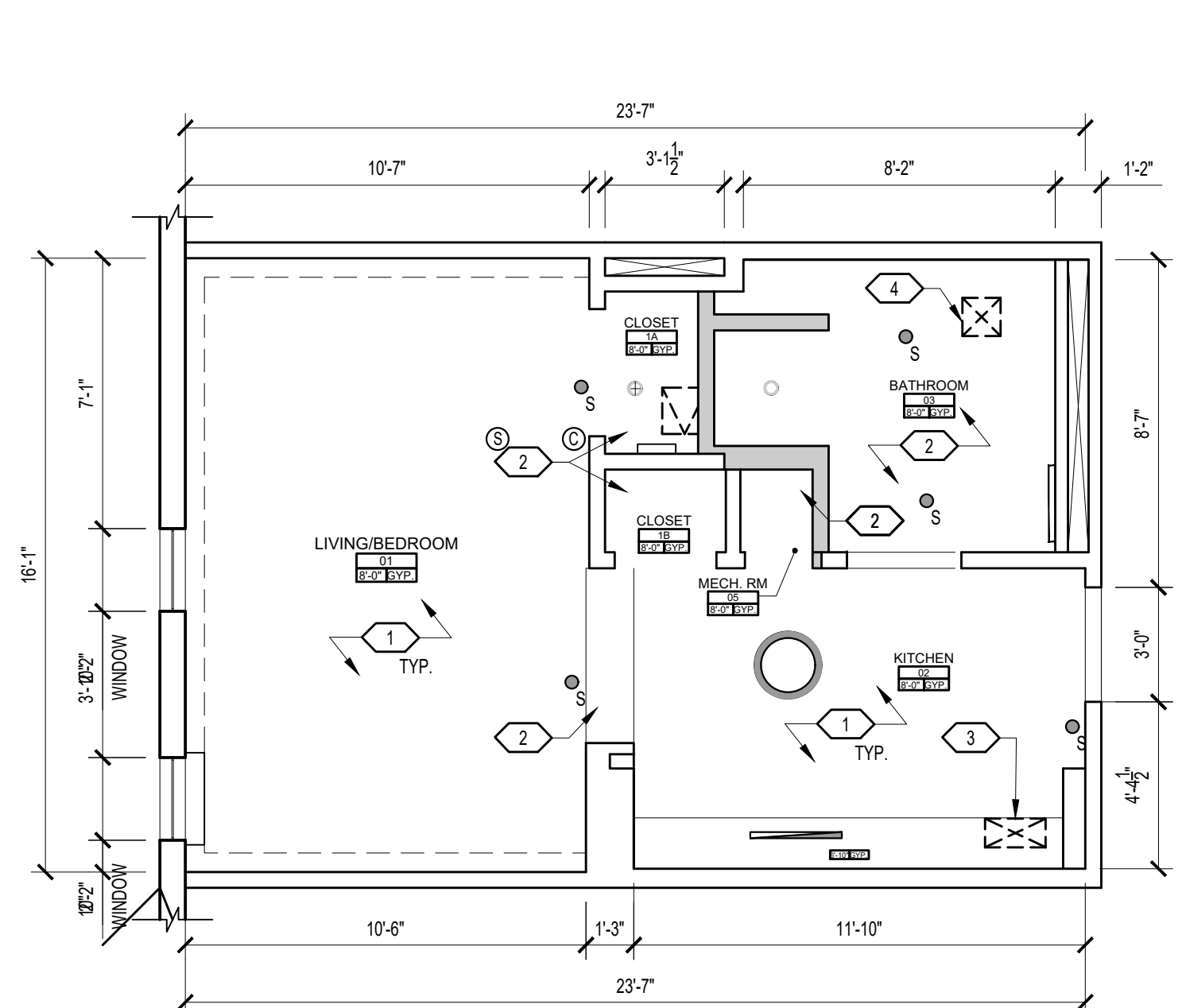
- CONSTRUCTION KEY NOTES:**
- ROOM TO RECEIVE NEW FINISHES. TO INCLUDE BUT NOT LIMITED TO FLOORS, WALLS, CEILINGS, AND TRIM. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION. PATCH AND REPAIR ALL EXISTING WALLS PRIOR TO NEW FINISH BEING APPLIED.
 - EXISTING CEILINGS TO BE SKIM COATED AFTER TEXTURED CEILING HAS BEEN SCRAPPED SMOOTH. SEE FINISH SCHEDULE FOR PAINT FINISH.
 - NEW SINK TO BE INSTALLED AND CONNECTED TO EXISTING PLUMBING.
 - NEW F.R.P. SHOWER PAN AND WALLS TO BE INSTALLED. SEE FINISH SCHEDULE FOR SHOWER EQUIPMENT.
 - NEW TOILET TO BE INSTALLED AND CONNECTED, PER MANUFACTURERS SPECIFICATIONS (SEE SCHEDULE).
 - INSTALL NEW KITCHEN RE-CIRCULATION HOOD PER MANUFACTURERS SPECIFICATIONS. SEE INTERIOR ELEVATIONS.
 - EXISTING RADIATORS TO REMAIN. CONTRACTOR TO PROVIDE PROTECTION DURING CONSTRUCTION.
 - PROVIDE AND INSTALL WINDOW TREATMENTS, BRACKETS, AND ALL ASSOCIATED HARDWARE.
 - INSTALL NEW OUTLETS, SWITCHES, AND COVER PLATES (WHITE) IN EXISTING BOXES. CONFIRM EXISTING LOCATIONS MEET ACCESSIBLE MOUNTING HEIGHTS AND LOCATIONS ON SHEET A000. REFER TO ELECTRICAL PLANS FOR LOCATIONS.
 - PROVIDE OPEN SHELVING AT 24" O.C. VERT. TO MATCH COUNTER FINISH.
 - PROVIDE (2) CLOTHING HANGING RODS AT 48" MAX HT. AND 86" MAX HT.

- THE GENERAL NOTES AND CONSTRUCTION DOCUMENTS HEREWITH SHALL APPLY TO THE WORK OF THIS PROJECT, AND SHALL BE CAREFULLY REVIEWED BY THE GENERAL CONTRACTOR AND ALL OF HIS SUB CONTRACTORS. THE GENERAL CONTRACTOR SHALL COORDINATE EACH SUBCONTRACTORS PARTICULAR WORK WITH ALL OTHER SUBCONTRACTORS WORK ASSOCIATED WITH THIS PROJECT.
- AT FURRED OUT WALLS, EXISTING RECEPTACLES (POWER, DATA, ETC.) TO BE RELOCATED TO THE FACE OF NEW ENCLOSURE.
 - ALL ELEVATIONS ARE TAKEN FROM FIFTH FLOOR F.F.E. (0'-0") UNLESS NOTED OTHERWISE.
 - MAX. STUD SPACING OF 16" O.C. ALL AREAS. ADDITIONAL AL METAL STUD TO BE 16 GAUGE MINIMUM.
 - ALL WALL PARTITION TYPES NOT LABELED SHALL BE PARTITION TYPE "1".
 - FURNISH AND INSTALL SOLID BLOCKING OR STRAPPING AT ALL GYP. BD. PARTITION WALLS TO SUPPORT WALL HUNG EQUIPMENT, MILLWORK, OR ACCESSORIES. REFER TO FINE PLANS AND SCHEDULE.
 - REFER TO DRAWING THIS SHEET FOR MILLWORK SECTIONS AND ELEVATIONS.
 - FOR ALL FINISHES, REFER TO FINISH SCHEDULE, SHEET A500.
 - GENERAL CONTRACTOR SHALL COORDINATE, SUPPLY AND INSTALL ANY BLOCKING AS REQUIRED FOR THE SECURITY.
 - ALL DIMENSIONS ARE TO FINISHED SURFACES UNLESS OTHERWISE NOTED.
 - DO NOT SCALE DRAWINGS. IF REQUIRED DIMENSIONS ARE NOT INDICATED, THE GENERAL CONTRACTOR SHALL REQUEST ADDITIONAL INFORMATION FROM THE ARCHITECT FOR RESOLUTION.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WORK OF ALL TRADES.
 - GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITION IN THE FIELD AND NOTIFY THE OWNER AND THE ARCHITECT OF ANY DISCREPANCIES IN WRITING.
 - GENERAL CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS FOR APPROVAL.
 - ALL DOORS IN DRYWALL OR MASONRY PARTITION SHALL BE SET FROM OUTSIDE EDGE OF BUCK TO ALLOW ENOUGH ROOM FOR DECORATIVE DOOR CASING (UNLESS OTHERWISE NOTED).
 - TAPING AND SPACKLING SHALL BE 3 COAT APPLICATION.
 - ALL EXPOSED CORNERS ARE TO BE FITTED WITH METAL CORNER BEADS.
 - ALL JOINTS IN NEW PARTITIONS, AS WELL AS JUNCTURES BETWEEN EXISTING AND NEW PARTITIONS, SHALL BE TAPED AND SPACKLED AND FINISHED SMOOTH.
 - ALL NEW FINISHES TO MATCH EXISTING ADJACENT, INCLUDING BUT NOT LIMITED TO WALL THICKNESS, CROWN MOLDING AND BASE TYPE. G.C. TO ENSURE NEW FINISHES MATCH EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. ALTERNATIVE MATERIALS MAY BE PROVIDED WHEN REQD. UPON OWNERS WRITTEN APPROVAL.
 - GENERAL CONTRACTOR SHALL PROVIDE SUFFICIENT FRAMING FOR ALL AIR SUPPLY AND RETURN OPENINGS ABOVE - REFERENCE HVAC ENGINEERING DRAWINGS AND THE GENERAL CONTRACTORS MECHANICAL CONTRACTORS SHOP DRAWINGS FOR MORE INFORMATION.
 - WHERE EXISTING PARTITIONS HAVE BEEN REMOVED, ADJOINING WALLS, FLOORING, CEILING, ETC. ARE TO BE PATCHED, FLUSH AND FINISHED TO MATCH EXG.
 - NECESSARY ALTERATION TO EXISTING AFFECTED MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS SHALL BE INCLUDED.
 - WALLBOARD SHALL BE FURNISHED AND INSTALLED IN THE LONGEST AVAILABLE LENGTHS SO THE WALLBOARD PANELS SHALL EXTEND VERTICALLY IN ONE PIECE FROM FLOOR TO CEILING AND/OR SLABS BEAMS OR DECKS ABOVE, AS REQUIRED.
 - PROTECT EXISTING FINISHES DURING ALL STAGES. REPAIR TO MATCH EXISTING IF DAMAGED. CONTRACTOR IS RESPONSIBLE FOR COSTS TO REPAIR AREAS DAMAGED DURING CONSTRUCTION.

GENERAL CONSTRUCTION NOTES
SCALE: N.T.S.

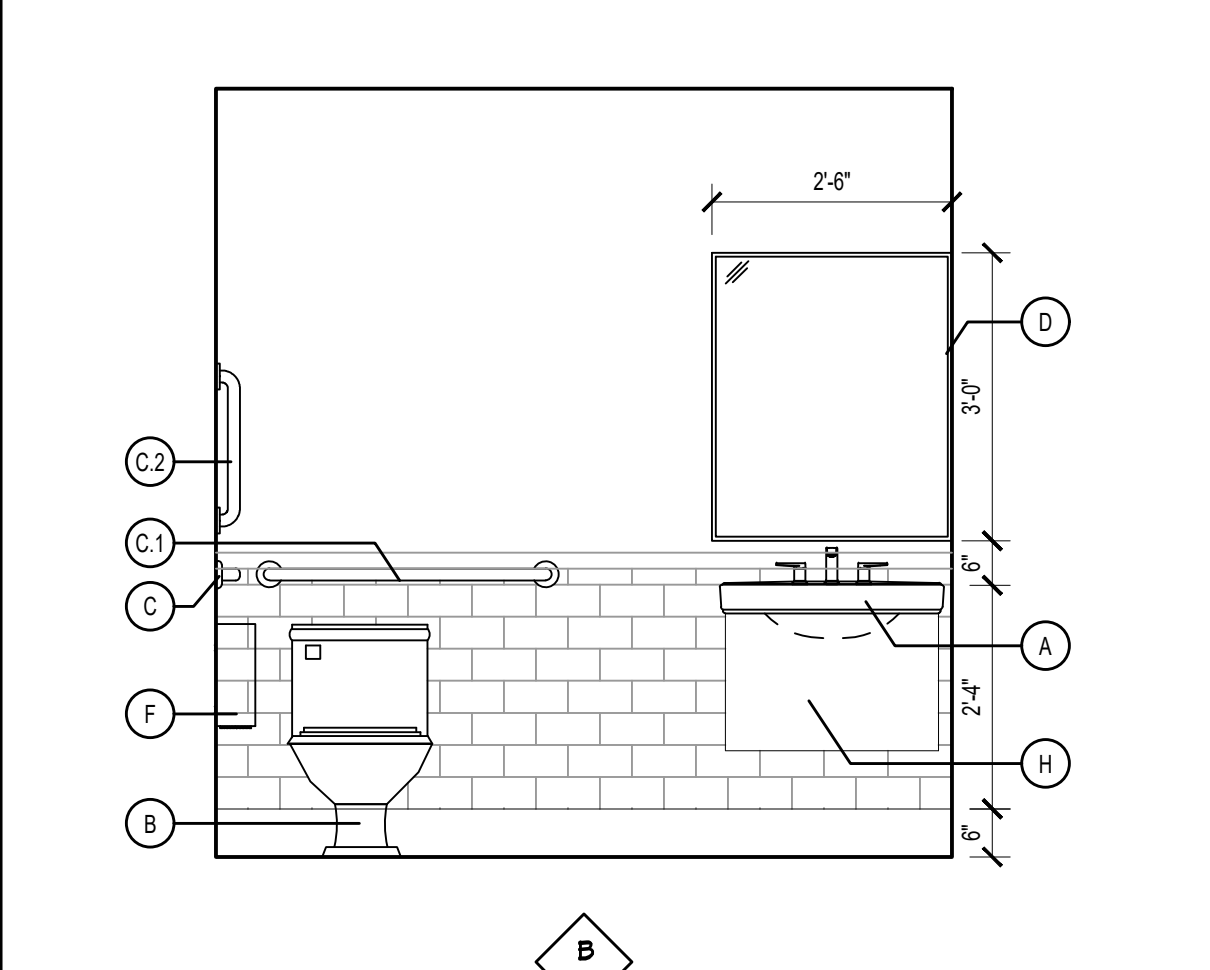
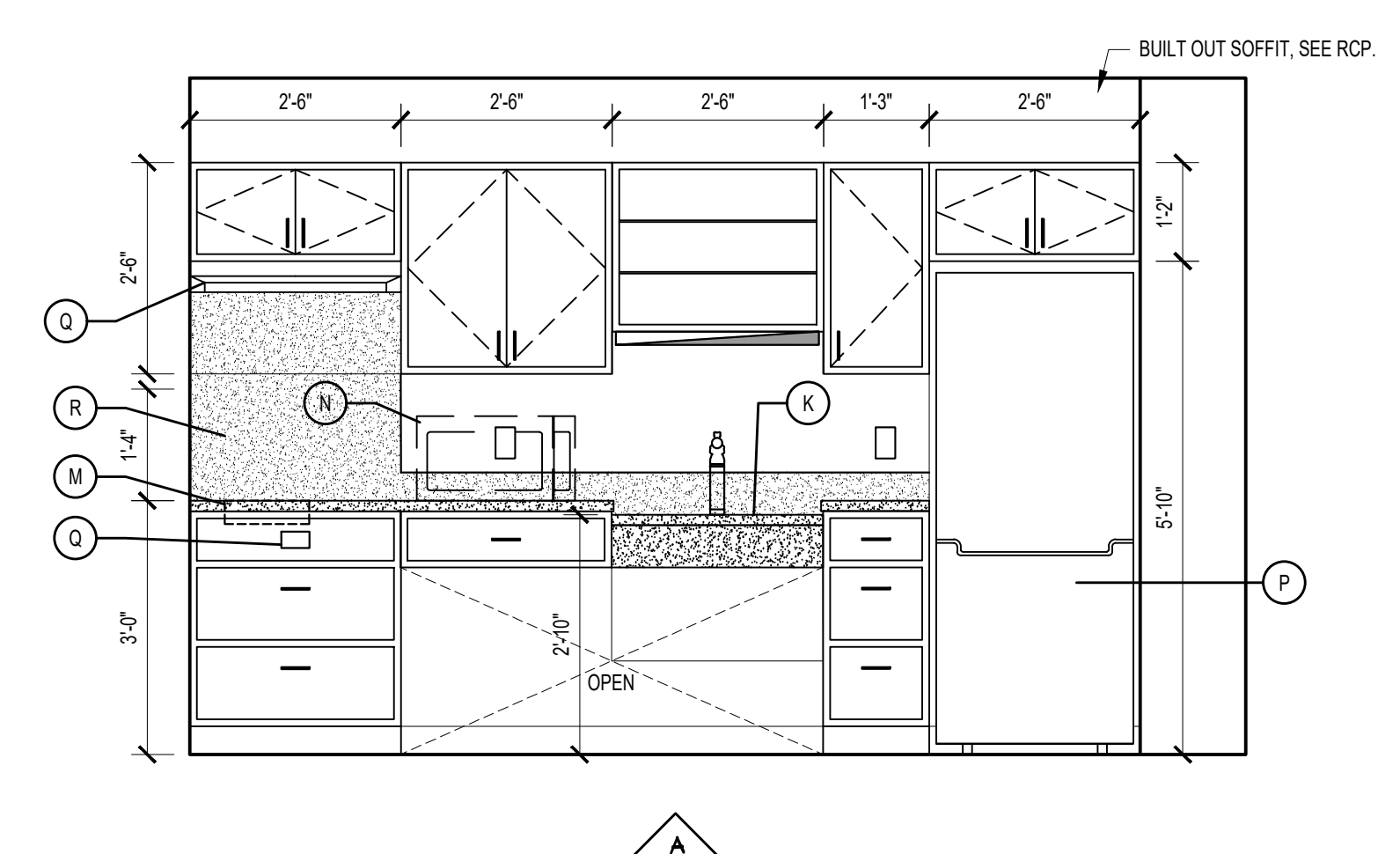
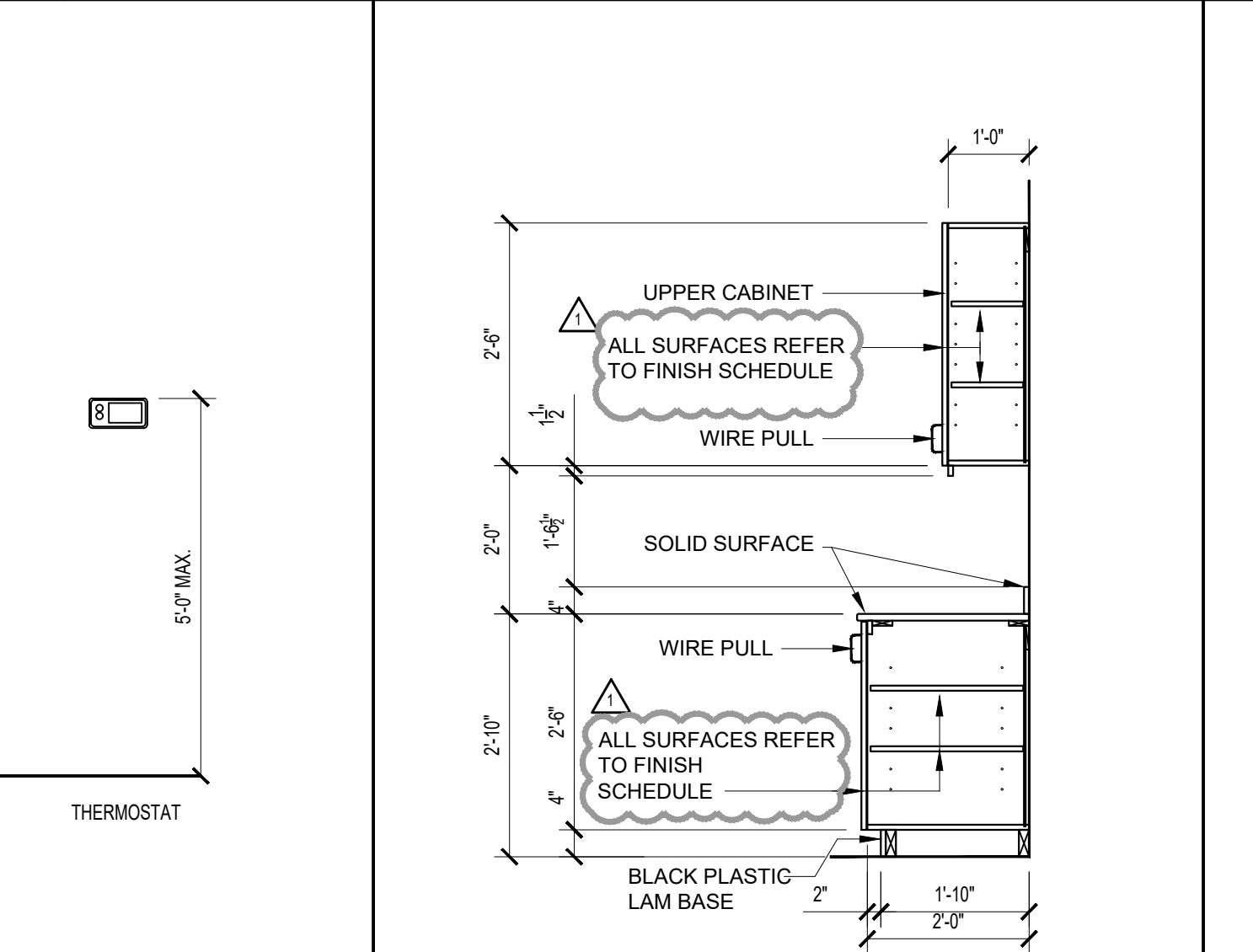


1 CONSTRUCTION PLAN - APARTMENT 552
SCALE: 1/4"=1'-0"

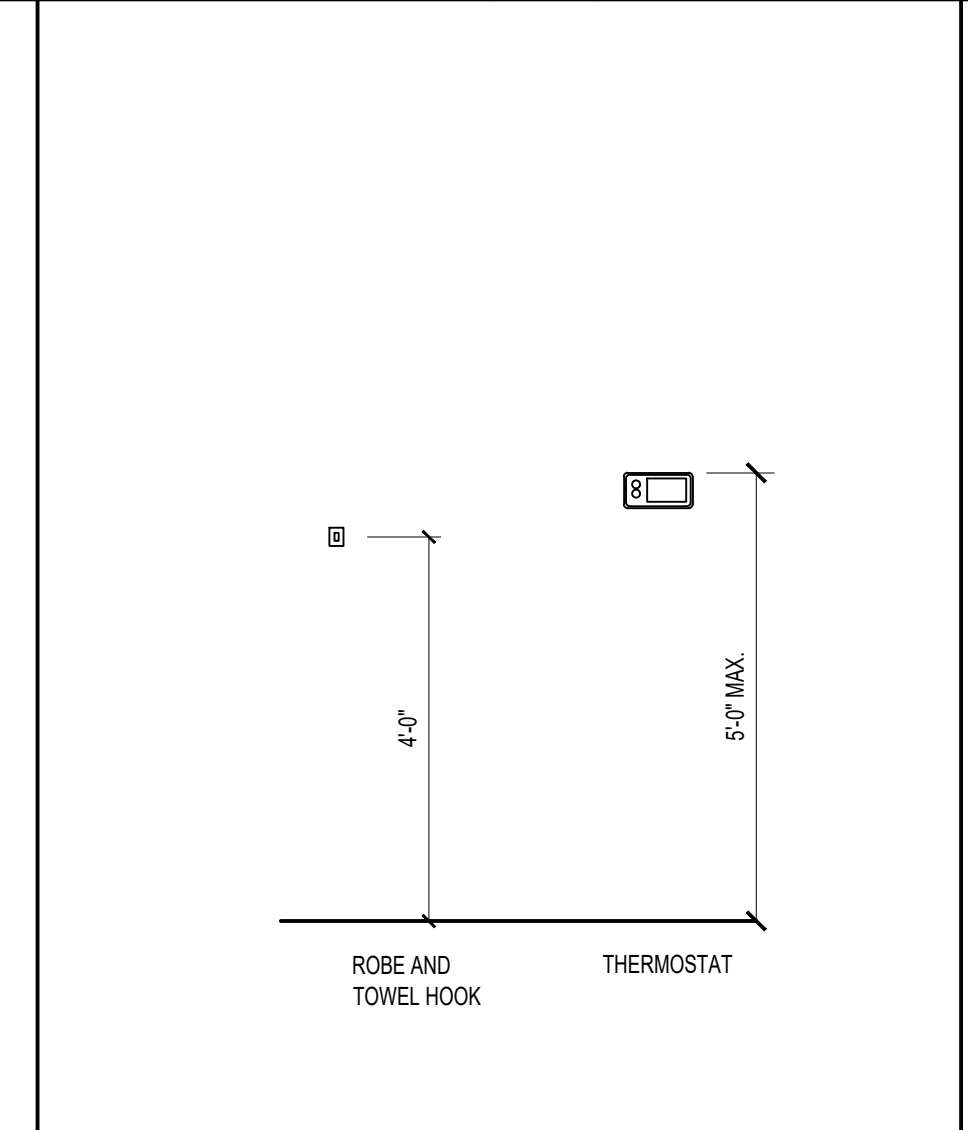


- DRAWING NOTES:**
- NEW GYP. CEILING TO BE PATCHED AND REPAIRED AS REQUIRED. SEE FINISH SCHEDULE FOR FINISHES. NEW EXIT SIGNS, SMOKE DETECTORS, SPRINKLERS, WIFI/ INTERNET EXTENDERS, AND ALL ASSOCIATED EQUIPMENT TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
 - PATCH AND REPAIR EXISTING GYPSUM BOARD CEILING SEE PLAN FOR NEW CEILING MOUNTED EQUIPMENT TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS. SEE FINISH SCHEDULE FOR FINISHES.
 - NEW RE-CIRCULATION HOOD TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
 - REINSTALL EXISTING BATHROOM EXHAUST VENT, TO BE CLEANED PRIOR TO INSTALLATION.

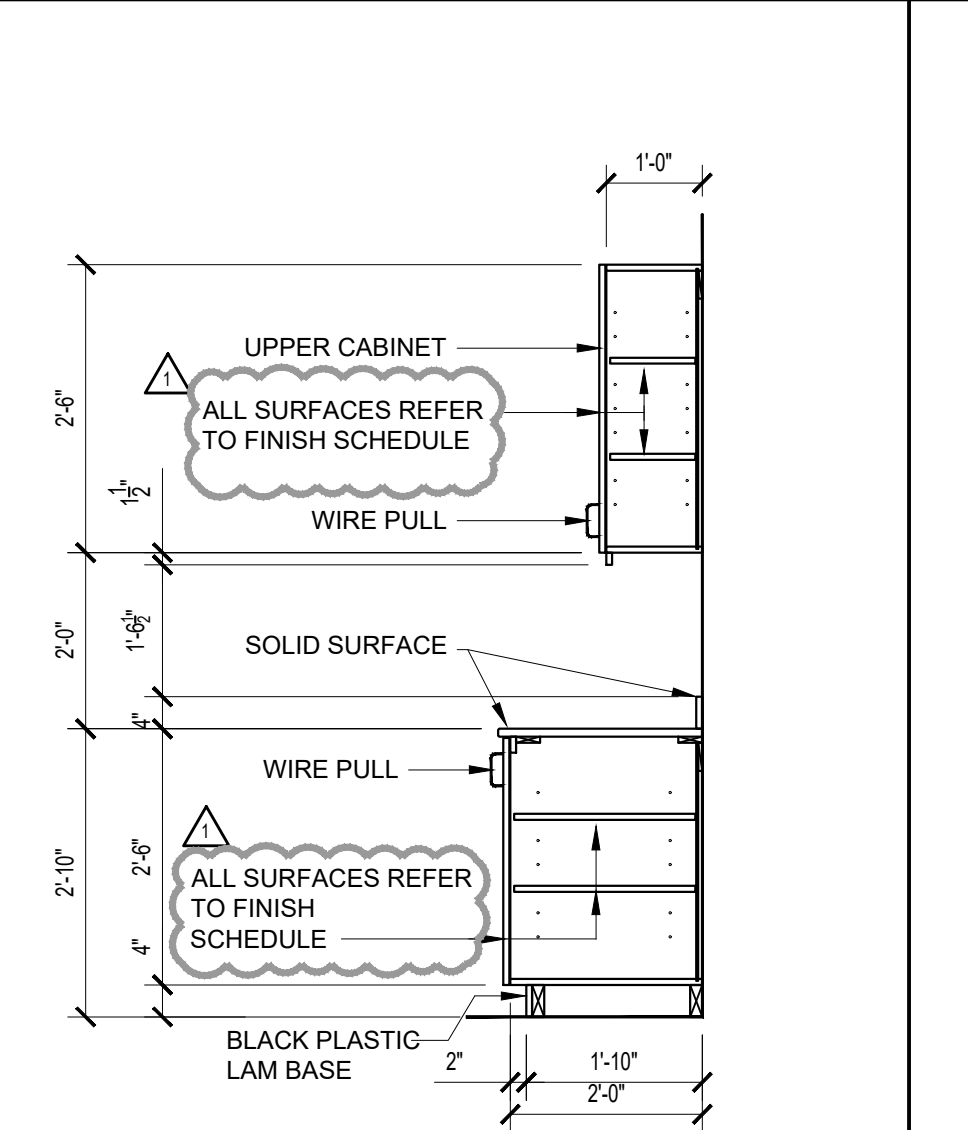
2 APARTMENT REFLECTED CEILING PLAN 552
SCALE: 1/4"=1'-0"



7 TYP MOUNTING HEIGHTS MISC.
SCALE: N.T.S.



6 TYP MILLWORK SECTION
SCALE: 1/2"=1'-0"



5 ENLARGED KITCHEN ELEVATION
SCALE: 1/2"=1'-0"

4 ENLARGED BATHROOM ELEVATION
SCALE: 1/2"=1'-0"

NO.	DATE	BY	REVISION
1	03/29/2022		"ADDENDUM #1"
2	03/15/2022		"ISSUED FOR BID"

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Date:

TOWNSHIP OF PISCATAWAY
2022 - STERLING VILLAGE
INTERIOR RENOVATIONS PHASE - 3
TOWNSHIP OF PISCATAWAY, MIDDLESEX COUNTY, NEW JERSEY

**APARTMENT 552 CONSTRUCTION PLAN
& REFLECTED CEILING PLAN**

AND

YOUR GOALS. OUR MISSION.

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OHIO AND PENNSYLVANIA

DESIGNED BY	TH	DRAWING	A401
CHECKED BY	JB	SHEET	13
DRAWN BY	RW	OF	22
DATE	02-16-2022		
SCALE			
PROJ. NO.	08.21.018		

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FINISH NOTES

- ALL FINISHES TO BE SUBMITTED TO AND APPROVED BY ARCHITECT / OWNER PRIOR TO APPLICATION AND INSTALLATION.
- PROVIDE ARCHITECT / OWNER WITH SAMPLES OF MANUFACTURER'S FULL RANGE OF COLORS AND TEXTURES FOR SELECTION. APPLY / INSTALL FINISHES AFTER RECEIVING WRITTEN APPROVAL BY ARCHITECT / OWNER.
- REFER TO INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL FINISH INFORMATION.
- CONTRACTOR SHALL PATCH / REPAIR ANY EXISTING SURFACE TO REMAIN TO AN "AS NEW CONDITION". APPLY SCHEDULED FINISHES PER FINISH MATERIAL LEGEND AND ROOM FINISH SCHEDULE.
- PROVIDE, INSTALL / APPLY ALL FINISHES ACCORDING TO MANUFACTURER'S WRITTEN SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
- ALL FINISHES TO COMPLY WITH IBC BUILDING CODE / NJ EDITION / 2018 (NJAC 5:23-3.14) CHAPTER 8 INTERIOR FINISHES FLAME SPREAD RATINGS.
- DOORS, DOOR & WINDOW FRAMES:
 - ALL DOOR FRAMES TO BE FACTORY PRIMED AND FIELD PAINTED. DO NOT PAINT OVER DOOR HARDWARE OR ACCESSORIES. FIRE RATING LABELS ON DOORS, OR OTHER CODE-REQUIRED LABELS OR NAME PLATES.
 - DOOR FRAME PAINT TO BE SEMI GLOSS, PAINT COLOR: P-4
 - PROVIDE HAFELE HAT AND COAT HOOK (842.34.000) BEHIND ALL OFFICE DOORS, FINISH: MATT NICKEL.
 - SEE A-700 FOR ANY ADDITIONAL DOOR INFORMATION.
- FLOORS:
 - ALL FLOOR FINISH TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF THE DOOR.
 - PROVIDE TRANSITION STRIPS AS REQUIRED WHERE THERE IS A CHANGE IN MATERIAL OR HEIGHT. SEE A-900 FOR TRANSITION TYPES AND THE FINISH PLAN FOR DESIGNATIONS.
 - PREPARE FLOOR TO A UNIFORM AND SMOOTH SURFACE PRIOR TO INSTALLATION OF NEW FLOORING.
 - PROVIDE PREFORMED INSIDE AND OUTSIDE WALL BASE CORNERS.
 - PROVIDE SELF LEVELING ARDEX FOR A SMOOTH LEVEL SURFACE PRIOR TO INSTALLATION OF NEW FLOORING.
- WALLS:
 - PREPARE AND PRIME SURFACES. PROVIDE A LEVEL "4" FINISH. PRIMER SHALL BE COMPATIBLE WITH TOP COATS.
 - PROVIDE INTERMEDIATE AND TOP COAT (MIN. 3 COATS INCLUDING PRIMER)
 - WALL PAINT TO BE EGGSHELL, U.O.N.
 - EPOXY PAINT TO BE SEMI-GLOSS.
- CEILINGS:
 - REFER TO REFLECTED CEILING PLANS FOR CEILING HEIGHT, DETAILS AND LOCATIONS.
 - ALL FLUSH SOFFITS TO BE PAINTED GB-1, U.O.N.
 - DROPPED SOFFITS TO COORDINATE WITH ADJACENT WALLS.
 - EPOXY PAINT TO BE SEMI-GLOSS.
 - PAINTED GYP. CEILINGS AT TOILET / SHOWER AND UTILITY ROOMS SHALL BE EPOXY.
- TILE:
 - PROVIDE SCHLUTER TRIM AT ALL VERTICAL EXPOSED TILE EDGES. SEE FINISH PLANS, ELEVATIONS AND DETAIL A-500.
 - ALL WALL TILE TO BE CENTERED ON WALL U.O.N.
 - PROVIDE FULL WALL TILE ABOVE WALL BASE.
 - ALIGN GROUT LINES FROM WALL, WALL BASE AND FLOOR.
- MILLWORK:
 - QUARTERSAWN OAK SOLID WOOD DOOR FRAME w/ 2" STILES AND RAILS.
 - SQUARE QUARTERSAWN OAK VENEER RECESSED CENTER PANEL ON ALL DOORS AND DRAWERS.
 - SEE A-401 FOR ADDITIONAL MILLWORK INFORMATION.

FINISH MATERIAL LEGEND

TAG	TYPE	MANUFACTURER	PRODUCT INFO	SIZE	DESCRIPTION	CONTACT
CEILING						
ACT-1	ACOUSTIC CEILING TILE	ARMSTRONG	ULTIMA TEGULAR HIGH NRC, COLOR: WHITE, GRID: 9"X9" SUPRAFINE	24" X 24"	-	MICHAEL MC DOWELL (609-455-9759)
GB-1	PAINTED GYP. BOARD	SHERWIN WILLIAMS	COLOR: SW 70007 CEILING BRIGHT WHITE	-	FLAT WHITE	DIANA RATTAZZI (914-261-8603)
FLOOR						
FT-1	PORCELAIN FLOOR TILE	DALTILE	STYLE: CONCRETE CHIC, COLOR: CC67 ELEGANT GREY	12" X 24"	EPOXY GROUT COLOR: TBD - , PROVIDE GROUT RELEASE, INSTALLATION: MONOLITHIC	GINA VANARELLI (201-486-5006)
LVT-1	LUXURY VINYL TILE	MANNINGTON/AMTICO	STYLE: TBD, COLOR: TBD	-	SEE ROOM FINISH SCHEDULE AND FINISH PLAN FOR FLOOR PATTERN & ADDITIONAL INFORMATION	KAREN LEVEY-LYNCH (917-797-5697)
LVT-2	LUXURY VINYL TILE	MANNINGTON/AMTICO	STYLE: TBD, COLOR: TBD	-	SEE ROOM FINISH SCHEDULE AND FINISH PLAN FOR FLOOR PATTERN & ADDITIONAL INFORMATION	KAREN LEVEY-LYNCH (917-797-5697)
LVT-3	LUXURY VINYL TILE	MANNINGTON/AMTICO	STYLE: TBD, COLOR: TBD	-	SEE ROOM FINISH SCHEDULE AND FINISH PLAN FOR FLOOR PATTERN & ADDITIONAL INFORMATION	KAREN LEVEY-LYNCH (917-797-5697)
LVT-4	LUXURY VINYL TILE	MILLIKEN	STYLE: FORTIFIED FOUNDATIONS, COLOR: RSW44 ROSEWOOD	-	ASHLAR HALF DROP INSTALL	KAREN LEVEY-LYNCH (917-797-5697)
MILLWORK						
WD-1	WOOD VENEER	KRAFTMAID	SPECIES: OAK, FINISH: GINGER	-	KITCHEN CABINETS, DRAWERS & FURNITURE PANELS	-
WALL						
EP-1	EPOXY PAINT	SHERWIN WILLIAMS	COLOR: SW 6204 SEA SALT	-	EGGSHELL	DIANA RATTAZZI (914-261-8603)
P-1	WALL PAINT - TYPICAL	SHERWIN WILLIAMS	COLOR: SW 70009 PEARLY WHITE	-	EGGSHELL	DIANA RATTAZZI (914-261-8603)
P-2	WALL PAINT - ACCENT	SHERWIN WILLIAMS	COLOR: TBD	-	SEMI GLOSS	DIANA RATTAZZI (914-261-8603)
P-3	WALL PAINT - DOOR AND FRAME	SHERWIN WILLIAMS	COLOR: - SW 7634 PEDIMENT	-	-	DIANA RATTAZZI (914-261-8603)
WT-1	CERAMIC WALL TILE	CROSSVILLE	STYLE: COLOR BY NUMBERS, COLOR: 1812 OVERTURE # WT18	4" X 8"	FINISH: SATIN, EPOXY GROUT COLOR: TBD, PROVIDE GROUT RELEASE, INSTALLATION: VERTICAL	RACHEL HANNUR (212-533-4062)
WT-2	CERAMIC WALL TILE	CROSSVILLE	STYLE: COLOR BY NUMBERS, COLOR: 1812 OVERTURE # WT18	4" X 8"	FINISH: SATIN, SINGLE BULL NOSE, EPOXY GROUT COLOR: TBD, PROVIDE GROUT RELEASE, INSTALLATION: VERTICAL	RACHEL HANNUR (212-533-4062)
WALL BASE						
TWB-1	PORCELAIN TILE COVE BASE	DALTILE	STYLE: CONCRETE CHIC, COLOR: CC67 ELEGANT GREY	6" X 12" COVE BASE	GROUT: MATCH FT-1 ALIGN GROUT LINES WITH FLOOR	GINA VANARELLI (201-486-5006)
WB-1	WALL BASE	JOHNSONITE	TRADITIONAL VINYL BASE, COVE, COLOR: TBD	4" HIGH, COILS	-	KAREN LEVEY-LYNCH (917-797-5697)
WB-2	WALL BASE	JOHNSONITE	TRADITIONAL VINYL BASE, STRAIGHT, COLOR: - TA2 SADDLEBROOK WB	4" HIGH, COILS	-	KAREN LEVEY-LYNCH (917-797-5697)

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE	WALL FINISH	CEILING FINISH	MISCELLANEOUS
10	SOUTH HALLWAY	LVT - 1/2/3	WB-1	-	-	-
11	NORTH HALLWAY	LVT - 1/2/3	WB-1	-	-	-
20	SOUTH HALLWAY	LVT - 1/2/3	WB-1	-	-	-
21	NORTH HALLWAY	LVT - 1/2/3	WB-1	-	-	-
22	COMMON AREA	LVT - 1/2/3	WB-1	-	-	-
23	COMMON AREA	LVT - 1/2/3	WB-1	-	-	-
30	SOUTH HALLWAY	LVT - 1/2/3	WB-1	-	-	-
31	NORTH HALLWAY	LVT - 1/2/3	WB-1	-	-	-
32	COMMON AREA	LVT - 1/2/3	WB-1	-	-	-
33	COMMON AREA	LVT - 1/2/3	WB-1	-	-	-
40	SOUTH HALLWAY	LVT - 1/2/3	WB-1	-	-	-
41	NORTH HALLWAY	LVT - 1/2/3	WB-1	-	-	-
42	COMMON AREA	LVT - 1/2/3	WB-1	-	-	-
43	COMMON AREA	LVT - 1/2/3	WB-1	-	-	-
50	SOUTH HALLWAY	LVT - 1/2/3	WB-1	-	-	-
51	NORTH HALLWAY	LVT - 1/2/3	WB-1	-	-	-
52	COMMON AREA	-	-	-	ACT-1	-
53	COMMON AREA	-	-	-	ACT-1	-
01	LIVING / BEDROOM	LVT-4	WB-2	P-1	GB-1	-
01A	CLOSET	LVT-4	WB-2	P-1	GB-1	-
02	KITCHEN	LVT-4	WB-2	P-1	GB-1	-
02A	CLOSET	LVT-4	WB-2	P-1	GB-1	-
02B	MECH. RM.	LVT-4	WB-2	P-1	GB-1	-
03	BATHROOM	FT-1/2	TWB-1	WT-1/2, EP-1	GB-1	EPOXY PAINT ON CEILING

DOOR SCHEDULE

	DR. No.	WIDTH	HT	MAT	DR. Type	FR. Mat	FR. Type	LABEL	HW SET	SADDLE	HEAD	JAMB	REMARKS
FIFTH FLOOR	01	3'-0"	7'-0"	WD	A	EXIST.	EXIST.	20 MIN	2	1	EXIST.	EXIST.	
	02	3'-0"	7'-0"	WD	A	H.M.	1	-	1	2	H-1	J-1	w/ PRIVACY FUNCTION
	03	(2)1'-9 1/2"	7'-0"	WD	A	H.M.	1	-	1	4	H-1	J-1	
	04	2'-8"	7'-0"	WD	A	H.M.	1	-	1	3	H-1	J-1	
	05	(2)1'-8"	7'-0"	WD	A	H.M.	1	-	1	3	H-1	J-1	

*ALL EXISTING METAL DOORS AND FRAMES AS INDICATED ON PLAN TO BE PRIMED AND PAINTED SEE FINISH SCHEDULE.

DOOR SCHEDULE GENERAL NOTES:

- SEE THIS SHEET FOR DOOR HEAD AND JAMB DETAILS.
- H.M. DENOTES "HOLLOW METAL".
- EXIST. - EXISTING FRAMES TO REMAIN, CONTRACTOR TO CONFIRM SIZE PRIOR TO ORDERING NEW DOORS.

HARDWARE NOTES:

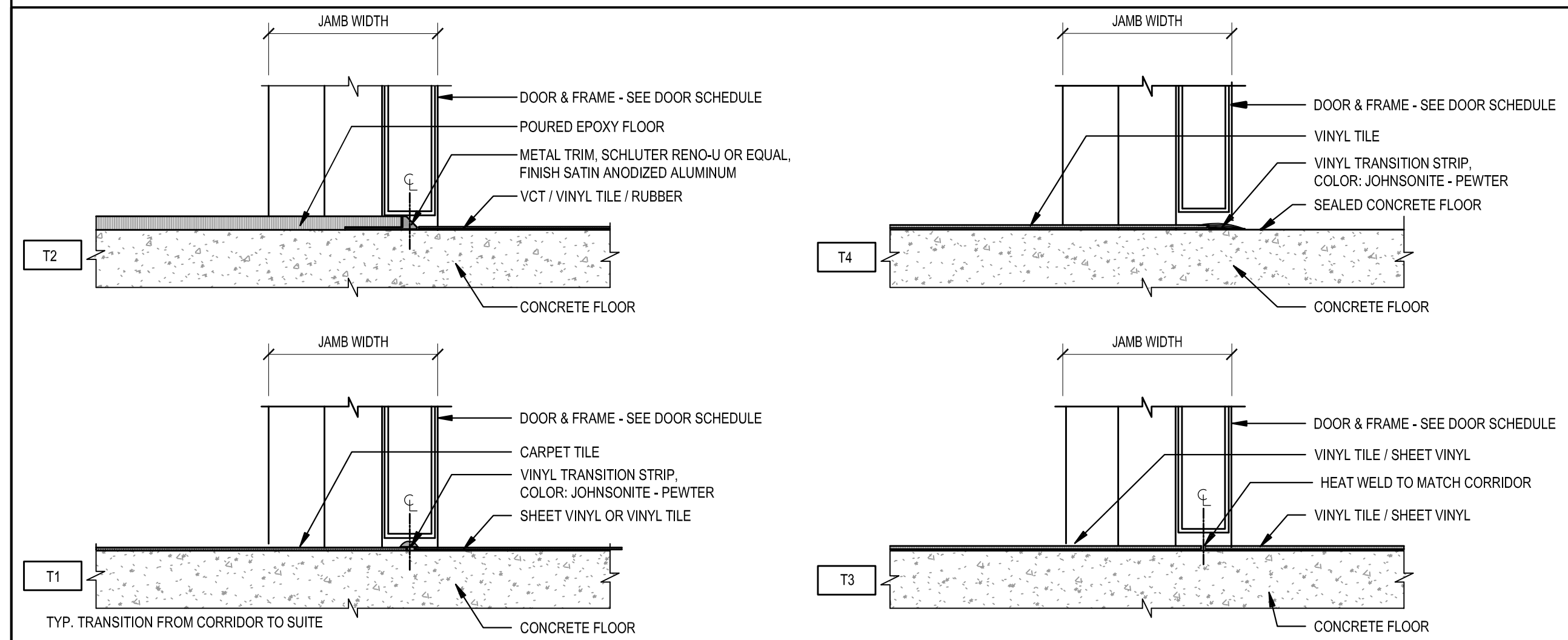
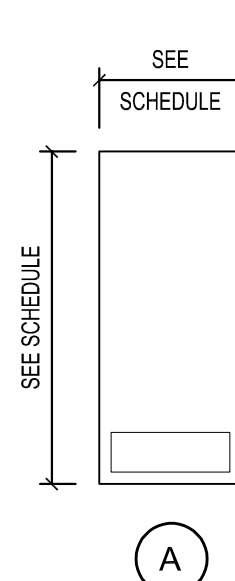
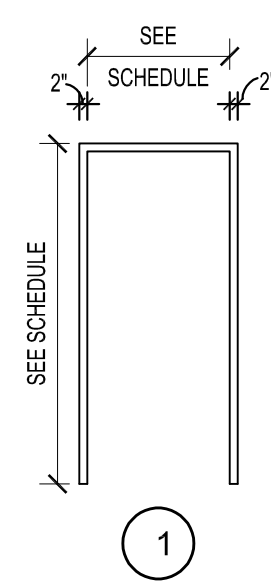
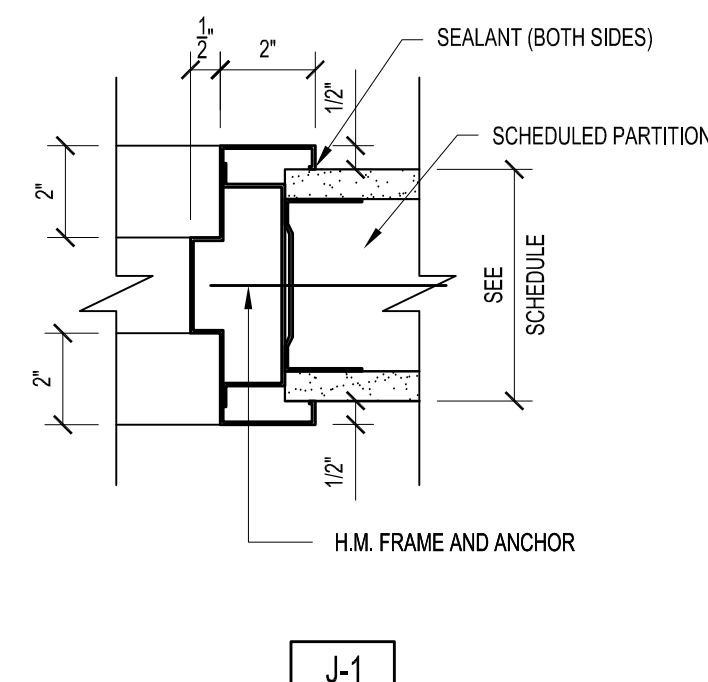
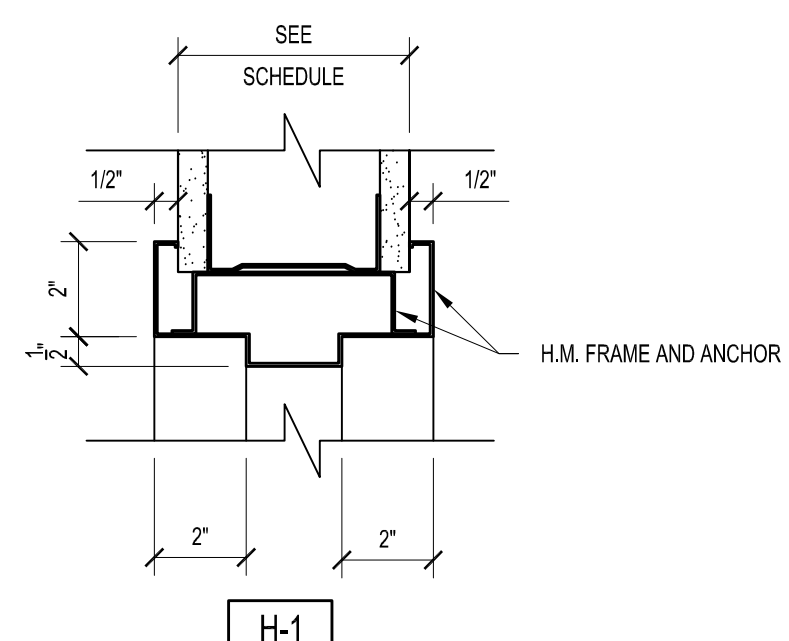
- ALL NEW FINISH HARDWARE TO MATCH EXISTING BUILDING STANDARD IN FINISH, STYLE, AND MANUFACTURER.
- COORDINATE KEYING WITH OWNER.

HARDWARE SET 1

- PAINTED SMOOTH FLUSH HARDBOARD SOLID CORE DOOR
- HINGE PDQ 35STPL4562 - 4.5" KNUCKLE US26D
- FUNCTION PASSAGE, NO LOCK
- LATCH SET: PDQ SD SERIES GRADE 2 US26D
- LEVER - PHILADELPHIA (PHIL)

HARDWARE SET 2

- HINGE PDQ 35STPL4562 - 4.5" KNUCKLE US26D
- FUNCTION ENTRANCE
- LATCH SET: PDQ SD SERIES GRADE 2 US26D
- LEVER - PHILADELPHIA (PHIL)
- CYLINDER/CORE CONVENTIONAL KEY IN KNOB/LEVER
- KEYED TO BUILDING MASTER KEY SYSTEM
- PEEP HOLE - MATCH BLDG STANDARD
- DEADBOLT PDQ KM SERIES COMMERCIAL GRADE DEAD BOLT



01 TRANSITION DETAILS
SCALE: 3" = 1'-0"

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TOWNSHIP OF PISCATAWAY
2022 - STERLING VILLAGE
INTERIOR RENOVATIONS PHASE - 3
TOWNSHIP OF PISCATAWAY, MIDDLESEX COUNTY, NEW JERSEY

FINISH LEGEND,
SCHEDULE & NOTES

AND

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CHECKED BY RW
DRAWN BY JB
DATE 02-16-2022
SCALE
PROJ. NO. 08.21.018

DRAWING A500
SHEET 14
OF 22